

building concepts

PO Box 98 Nerang Q 4211
20 Nerang St Nerang Q 4211
p 61 7 5596 3023
f 61 7 5596 3453
info@designimagery.com.au
www.designimagery.com.au

CLIENT
HERON HOMES PTY LTD

PROJECT
PROPOSED DEVELOPMENT

LOCATION
89 QUEENS RD
EVERTON HILLS

TITLE
OVERALL SITE

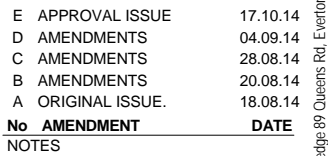
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| SCALE | DATE |
| 1 : 200 | @A3 AUG '14 |

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| DRAWING No | ISSUE |
| 3216- 01 -001 | E |

A **SECTION A**
1 : 200

| | |
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1 SITE PLAN
1 : 200

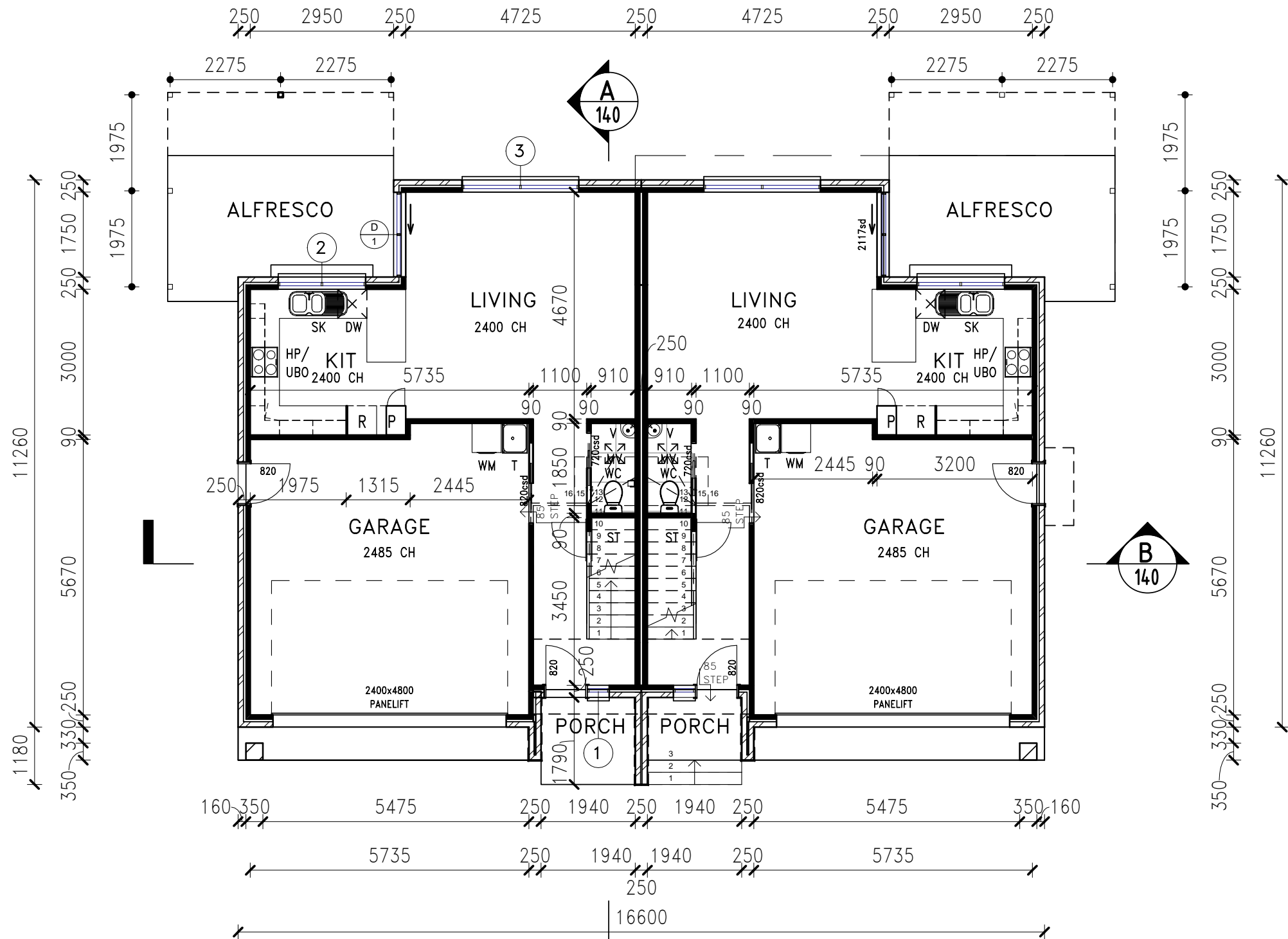
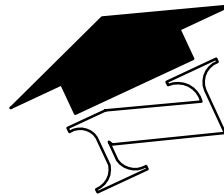


SECTION A
1 : 200

SOUND TRANSMISSION AND
INSULATION SCHEDULE
AS PER PART F5 OF BCA, QLD VARIATION

| | |
|--|----------------------------|
| WALLS BETWEEN SOLE OCCUPANCY UNITS | Rw+CTR 50 |
| WALLS BETWEEN WET AREAS & HABITABLE ROOMS OF ADJOINING UNITS, AND NOT INCORATE A DUCT WHICH REDUCES THE R _w OF THE WALL TO LESS THAN 50 | Rw+CTR 50 |
| SERVICE DUCTS ADJACENT TO HABITABLE ROOMS (OTHER THAN A KITCHEN) | DISCONTINUOUS CONSTRUCTION |
| SERVICE DUCTS ADJACENT TO KITCHEN | MIN.Rw+CTR 40 |
| OR NON-HABITABLE ROOM | MIN.Rw+CTR 25 |

NORTH



GFA

| | |
|------------------------|---------------------|
| GFA GROUND | 46.6m ² |
| GFA FIRST FLOOR | 69m ² |
| TOTAL GFA PER UNIT | 115.6m ² |
| TOTAL GFA FOR 10 UNITS | 1156m ² |
| PERCENTAGE OF SITE | 47.5% |

| AREAS PER UNIT | |
|----------------|----------------------|
| GROUND FLOOR | 85.4 m ² |
| FIRST FLOOR | 74.4 m ² |
| ALFRESCO | 12.4 m ² |
| PORCH | 4.4 m ² |
| | 176.6 m ² |

SMOKE ALARMS ^⑤
SMOKE ALARMS MUST BE INSTALLED
AS PER PART 3.7.2 OF BCA
THE FOLLOWING TO COMPLY WITH
THE REQUIREMENTS OF THE B.C.A.

STAIRS & BALUSTRADES
□ PART 3.9, STAIR CONSTRUCTION AND BALUSTRADES
□ PART 2.1, STRUCTURE PERFORMANCE REQUIREMENTS
SANITARY COMPARTMENTS
□ PART 3.8, LIGHT & VENTILATION
□ PART 2.4, LIGHT & VENTILATION
PERFORMANCE REQUIREMENTS

DOWNPIPES
REFER HYDRALIC ENGINEERS
DRAWINGS FOR DOWNPIPE SIZES.
MECHANICAL VENTILATION
MECHANICAL VENTILATION (MV) TO
COMPLY WITH PART 3.8.5 OF BCA
WALL LEGEND

- 250 BRICK VENEER CONSTRUCTION
- 90 TIMBER FRAMED WALLS(U.M.O.)
- 70 TIMBER FRAMED WALLS(U.M.O.)
- 230 DOUBLE BRICK
- 250 TIMBER FRAMED DIVISIONAL WALL WITH 25mm FIRE BARRIER MIN. R_w+CTR 50 & FRL 60/60/60

| C | APPROVAL ISSUE | 17.10.14 |
|----|-----------------|----------|
| B | AMENDMENTS | 01.09.14 |
| A | ORIGINAL ISSUE. | 18.08.14 |
| No | AMENDMENT | DATE |

NOTES

DESIGN
IMAGERY

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LOCATION
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TITLE
GROUND FLOOR

| | |
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| DRAWN | CHECKED |
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| 1 : 100 | @A3 AUG '14 |

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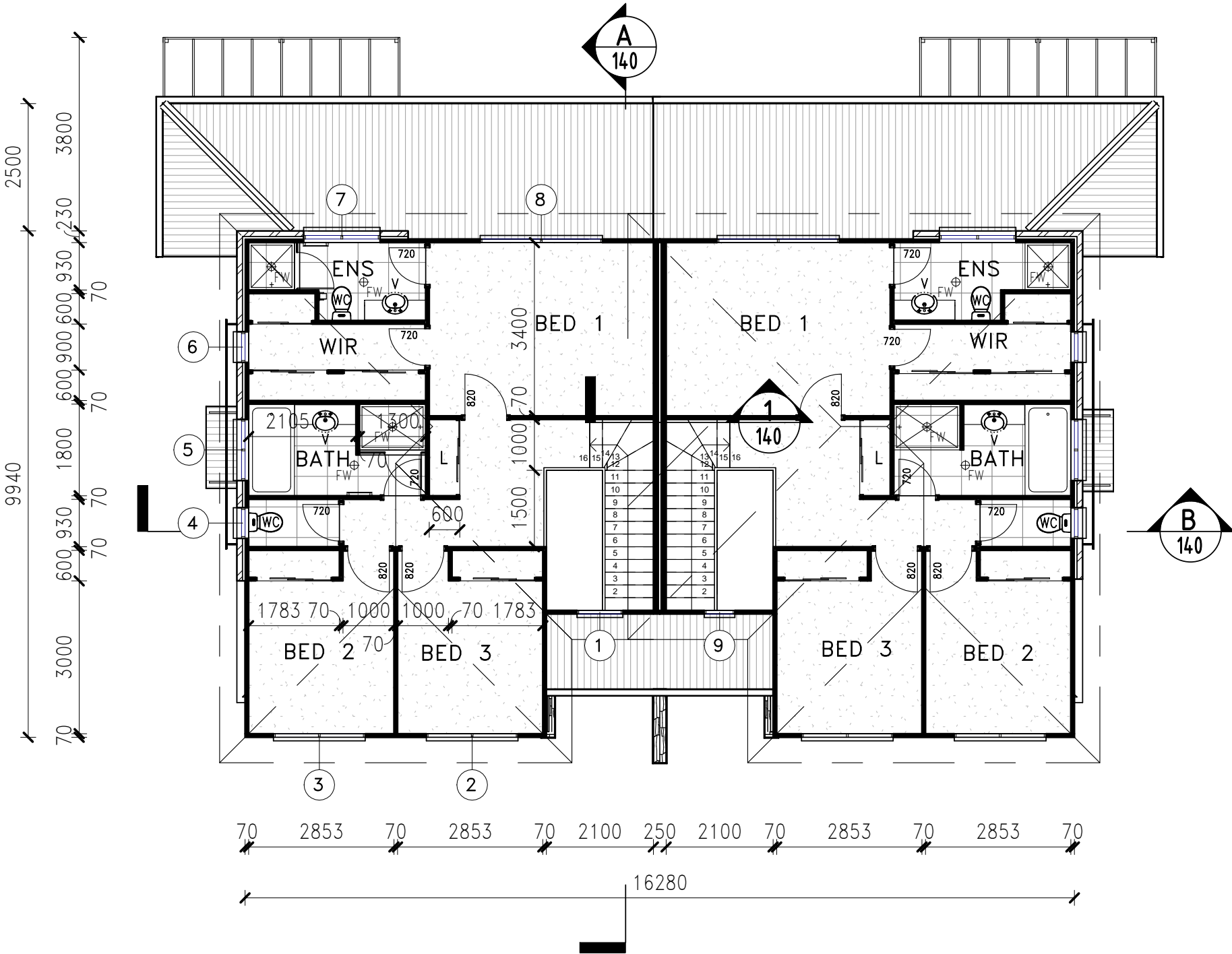
1
TYPICAL GROUND FLOOR
1 : 100

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SOUND TRANSMISSION AND INSULATION SCHEDULE

AS PER PART F5 OF BCA, QLD VARIATION

| | |
|---|---|
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| SERVICE DUCTS ADJACENT TO KITCHEN OR NON-HABITABLE ROOM | MIN.Rw+CTR 25 |



1 TYPICAL FIRST FLOOR
1 : 100

SMOKE ALARMS

SMOKE ALARMS MUST BE INSTALLED AS PER PART 3.7.2 OF BCA

THE FOLLOWING TO COMPLY WITH THE REQUIREMENTS OF THE B.C.A.

STAIRS & BALUSTRADES

PART 3.9, STAIR CONSTRUCTION AND BALUSTRADES
PART 2.1, STRUCTURE PERFORMANCE REQUIREMENTS

SANITARY COMPARTMENTS

PART 3.8, LIGHT & VENTILATION
PART 2.4, LIGHT & VENTILATION PERFORMANCE REQUIREMENTS

DOWNPIPES

REFER HYDRALIC ENGINEERS DRAWINGS FOR DOWNPIPE SIZES.

MECHANICAL VENTILATION

MECHANICAL VENTILATION (MV) TO COMPLY WITH PART 3.8.5 OF BCA

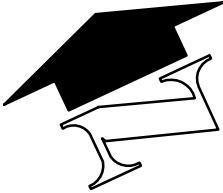
WALL LEGEND

| |
|--|
| 250 BRICK VENEER CONSTRUCTION |
| 90 TIMBER FRAMED WALLS(U.M.O) |
| 70 TIMBER FRAMED WALLS(U.M.O) |
| 230 DOUBLE BRICK |
| 250 TIMBER FRAMED DIVISIONAL WALL WITH 25mm FIRE BARRIER MIN. R _w +CTR 50 & FRL 60/60/60 |

ABBREVIATIONS LEGEND

| | | |
|-----|---|--------------------------------|
| AWN | - | AWNING WINDOW |
| AC | - | AIR CONDITIONER CONDENSER UNIT |
| BH | - | BULKHEAD |
| CH | - | CEILING HEIGHT |
| DP | - | DOWNPIPE |
| DW | - | DISHWASHER PROVISION |
| ENS | - | ENSUITE |
| ENT | - | ENTRY |
| FCU | - | A/C FAN COIL UNIT |
| FW | - | INTERNAL FLOOR WASTE |
| HP | - | HOT PLATES |
| KIT | - | KITCHEN |
| LD | - | LAUNDRY |
| MV | - | MECHANICAL VENT DUCT |
| MW | - | MICROWAVE SPACE |
| OHC | - | OVERHEAD CUPBOARDS |
| P | - | PANTRY |
| PD | - | PLUMBING DUCT |
| PH | - | PAPER HOLDER |
| PR | - | POWDER ROOM |
| R | - | REFRIDGERATOR PROVISION |
| RH | - | RANGEHOOD |
| SD | - | SLIDING DOOR |
| SHR | - | SHOWER |
| SK | - | SINK |
| ST | - | STORE |
| T | - | TUB |
| TR | - | TOWEL RAIL |
| UBO | - | UNDER BENCH OVEN |
| V | - | VANITY BASIN |
| WC | - | TOILET SUITE |
| WM | - | WASHING MACHINE PROVISION |

NORTH



| | | |
|----|-----------------|----------|
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NOTES

DESIGN IMAGERY

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LOCATION
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EVERTON HILLS

TITLE
TYPICAL FIRST
FLOOR

DRAWN
BS

CHECKED
KM

SCALE
1 : 100

DATE
@A3 AUG '14

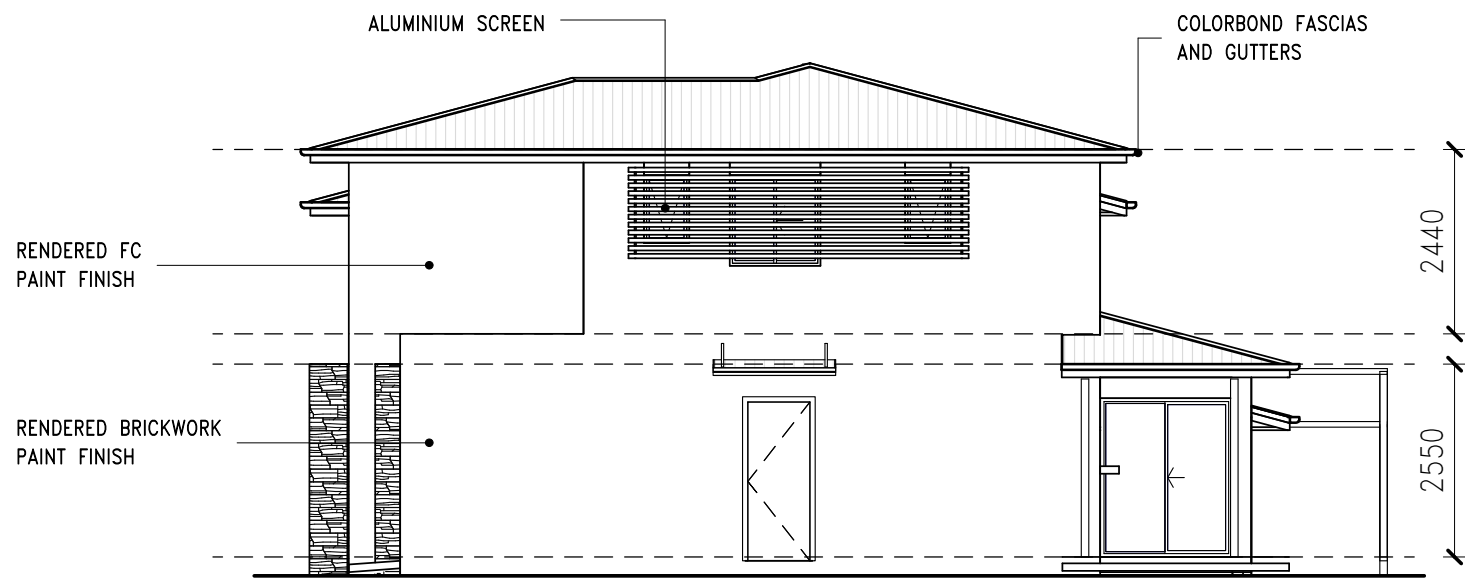
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3216- 01 -121

ISSUE
C



1 elevation 1
1 : 100



2 elevation 2
1 : 100

NORTH

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| C | AMENDMENTS | 28.08.14 |
| B | AMENDMENTS | 20.08.14 |
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| No | AMENDMENT | DATE |
| NOTES | | |

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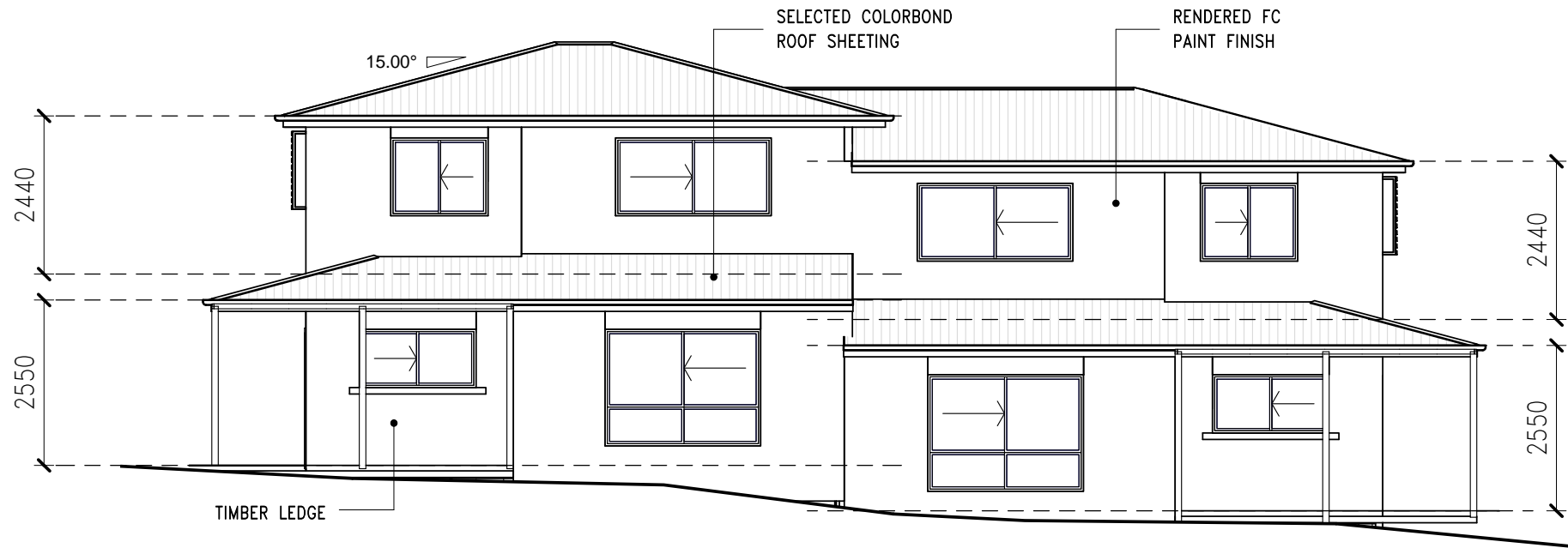
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ELEVATIONS

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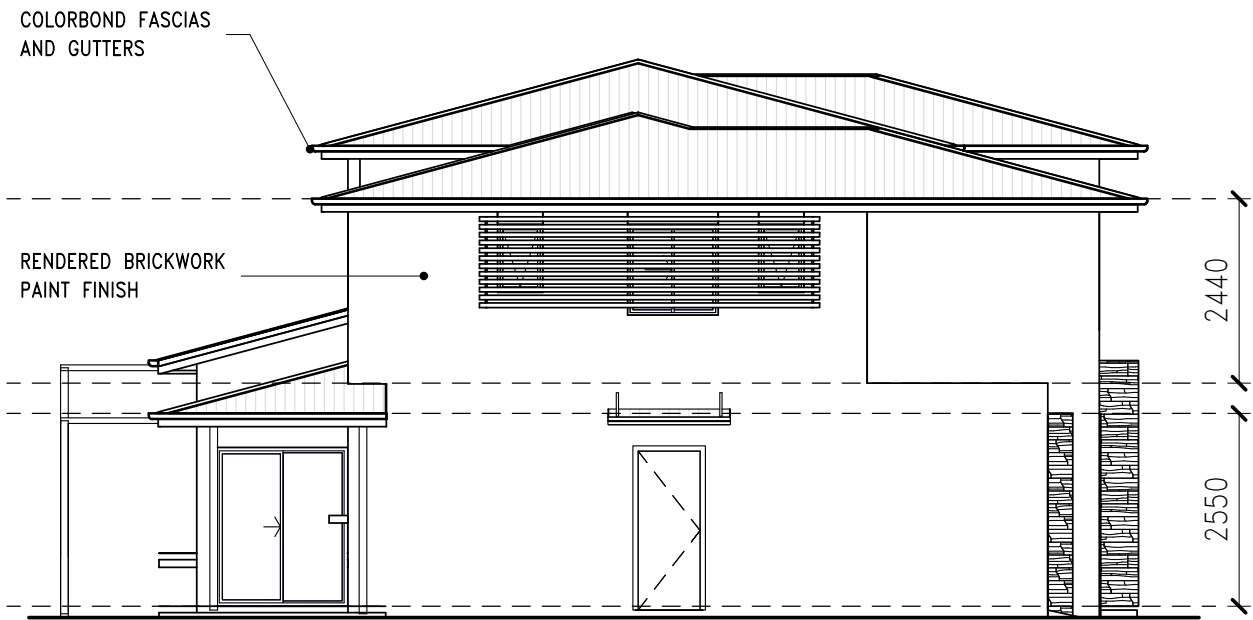
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DRAWING No
3216- 01 -130

ISSUE
E



1 elevation 3
1 : 100



2 elevation 4
1 : 100

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| B | AMENDMENTS | 01.09.14 |
| A | ORIGINAL ISSUE. | 18.08.14 |
| No | AMENDMENT | DATE |
| NOTES | | |

DESIGN
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CLIENT
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PROJECT
PROPOSED DEVELOPMENT

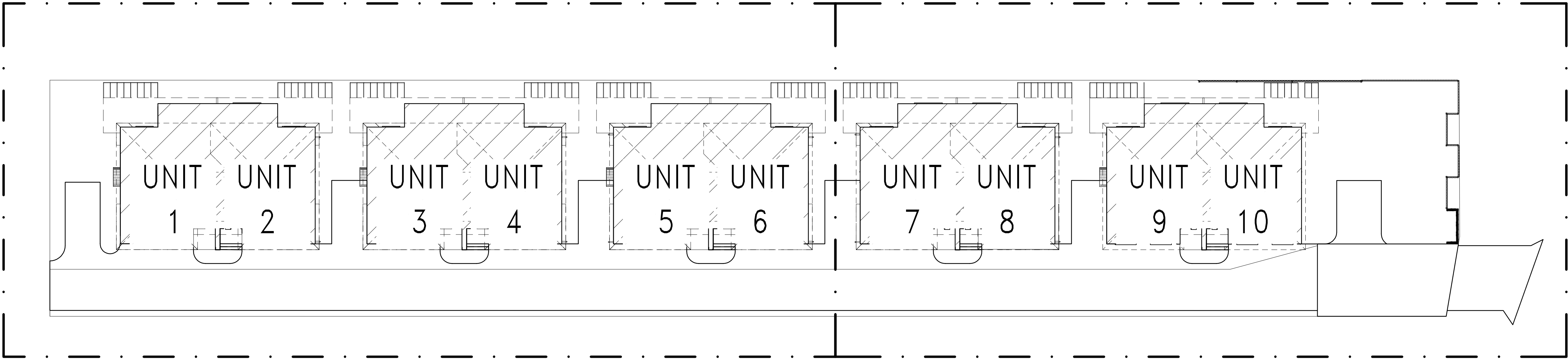
LOCATION
89 QUEENS RD
EVERTON HILLS

TITLE
ELEVATIONS

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|---------|-------------|
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| 1 : 100 | @A3 AUG '14 |

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| 3216- 01 -131 | C |



KEY PLAN 1:200 (A1)

NOTES:

GENERAL:
Verify all dimensions on site prior to construction; figured dimensions shall take preference over scaled dimensions. Refer to associated drawings (Architectural, Engineering, etc.) for all other external works elements. All materials and workmanship shall comply with relevant Australian Standards and Council standards, regulations and specifications where appropriate.

SERVICES:
Confirm location of all services prior to tree planting. Adjust plantings on site where required to avoid conflict with services, structures or pavements.

PLANTING:
Excavate all beds to a depth of 375mm below finished levels. Subsoil shall be broken and cultivated to a further depth of 200mm prior to placement of planting soil

TOPSOIL:
Topsoil shall comply with AS4419 "Soils for Landscaping and Garden Use" and be a friable, fertile, sandy loam of light to medium texture with a minimum 10% humus/organic content and reasonably weed free. Soil pH should be between 6.0-7.0. All garden beds are to be mounded and ensure a minimum set down of 225mm to any garden areas abutting buildings.

MULCH:
Mulch shall comply with AS4454 "Composts, soil conditioners and mulches" and shall be 'Hoop Bark Fines' applied to all garden areas at 75mm depth taking care not to pile-up mulch against stems of plants. Mulch shall be free from debris, foreign objects, and weed propagules.

TURF:
Provide 75mm minimum depth sand/topsoil and add fertiliser prior to laying turf. Turf shall be *Cynodon dactylon* - Green Couch - good quality, free from lawn pests, diseases and reasonably weed free. Fertilise turf at the rate of 4kg/100m² using a complete fertiliser with an N.P.K. ratio of 10:3:5:6. Ensure turf areas have adequate falls for drainage. Where existing turfed areas on road verge require re-instatement, provide 75mm minimum depth sand/topsoil and add fertiliser prior to laying turf.

ROOT BARRIER:
Provide root control barrier where trees are located within close proximity to buildings, pathways, retaining walls, or other hardstands.

PAVING:
All paving shall comply with AS/NZS3661.2 "Slip Resistance" and shall be laid to manufacturer's specifications. Refer to Architect's details.

IRRIGATION:
Install an irrigation system, to all garden areas. Irrigation system to be taken from hosecocks, where shown, with battery-operated timers attached. A backflow prevention device shall be installed, fitted and tested in accordance with Council regulations and AS/NZS3500:1998. The main water line shall be installed at a depth of 300mm, and sprinkler lines at a depth of 200mm, below finished levels. Trenches to be backfilled with clean fill with no rock or debris included. Main water line shall be minimum PN12.5 poly-pipe (use of a master valve and lower grade pipe is unacceptable). Lateral water pipes shall be low density poly-pipe. Sprinklers to garden areas to be Ein-Dor Anti-Insect Micro Sprays on stake and tube, or similar. A maintainable in-line filter shall be fitted to all garden area water lines. Conduits for irrigation lines shall be provided through planters, across podium paved areas, and under driveway and concrete pathway areas; position of hosecocks and conduits to be to Hydraulic Engineer's details. Minimum conduits under concrete pathways and driveways shall be 90mm PVC stormwater pipe. The automatic solenoid valves shall be 25mm Hunter Valves with flow control type SRV-101G or equivalent, covered by a two year warranty, and installed in an accessible location for maintenance. The system should provide 1.0 litre/sec at 400Kpa. The irrigation contractor shall co-ordinate with the plumber and electrician on-site to ensure suitability of electrical supply, conduits and pipework, from water tank supply.

DRAINAGE:
Refer to Civil and Hydraulic Engineers drawings for all sewer, stormwater, subsoil drainage, gully pits, and hose cock locations

DRIVEWAY/HARDSTAND:
Refer to Engineer's drawings for all driveway/hardstand areas.

FIRE ANTS:
All landscape materials including but not limited to: soils, mulches, potted or ex-ground plants, timber, etc., to be used in landscape treatments shall be free of 'Fire Ants' and Fire Ant contaminants including eggs. All landscape material being sourced from areas currently identified as potential Fire Ant risk areas shall be checked by a suitably qualified professional and certified that no risk of transportation of Fire Ants exists and that all materials are free from Fire Ant contamination.

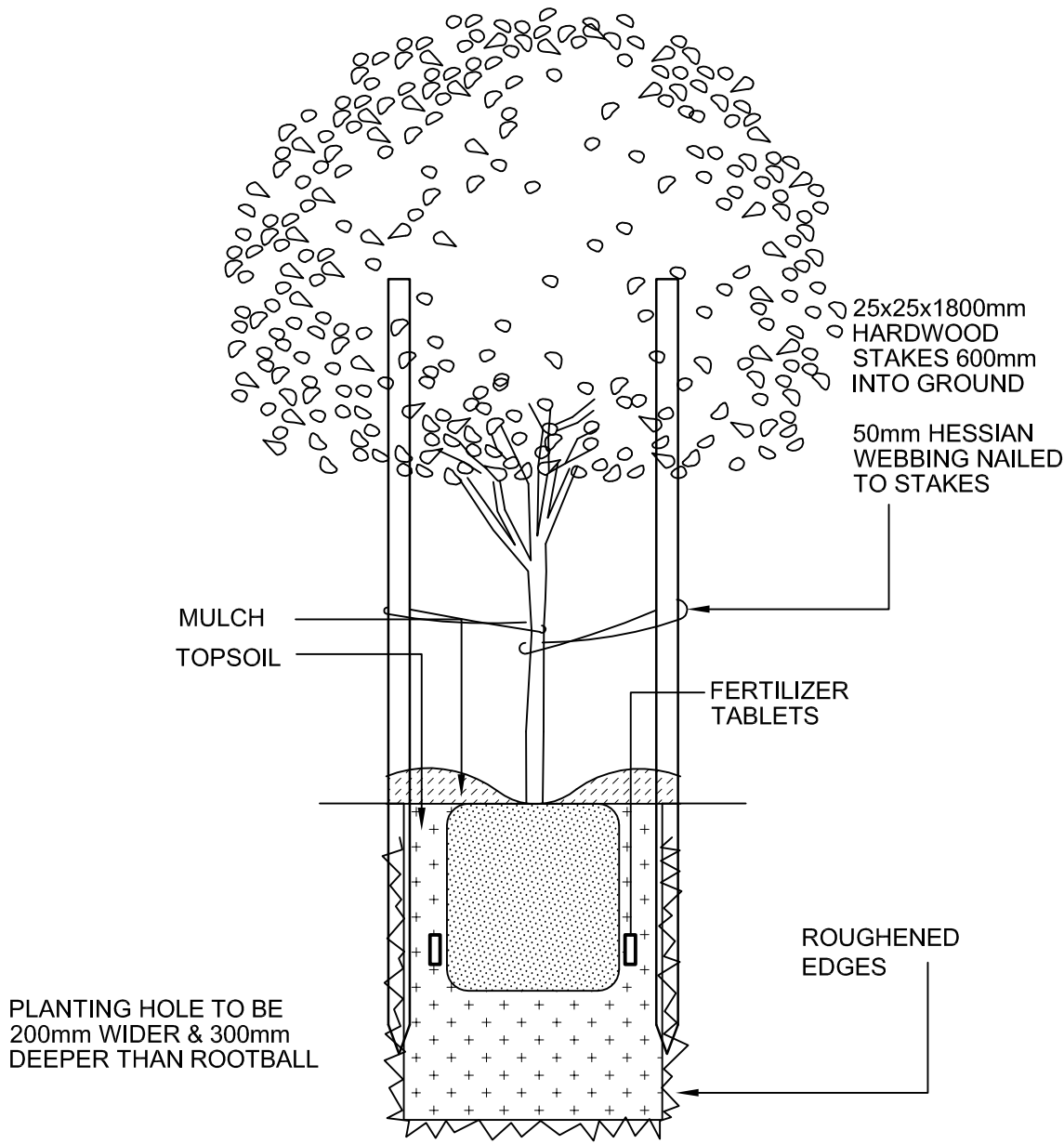
NUT GRASS:
All landscape materials, including but not limited to, soils, mulch, and potted or ex-ground plants shall be free from *Cyperus esculentus* and/or *Cyperus rotundus* (Nut Grass). Any existing Nut Grass present shall be fully controlled and how no signs of active growth prior to the final Council Landscape Inspection.

MYRTLE RUST:
Plant species in the Myrtaceae family shall be sourced from nurseries presently known to be free from Myrtle Rust (*Uredo rangellii*). All plants infected with Myrtle Rust must be removed using Myrtle Rust Hygiene Protocol and disposed of appropriately. All infestations shall be reported immediately to Biosecurity Queensland on 13 25 23.

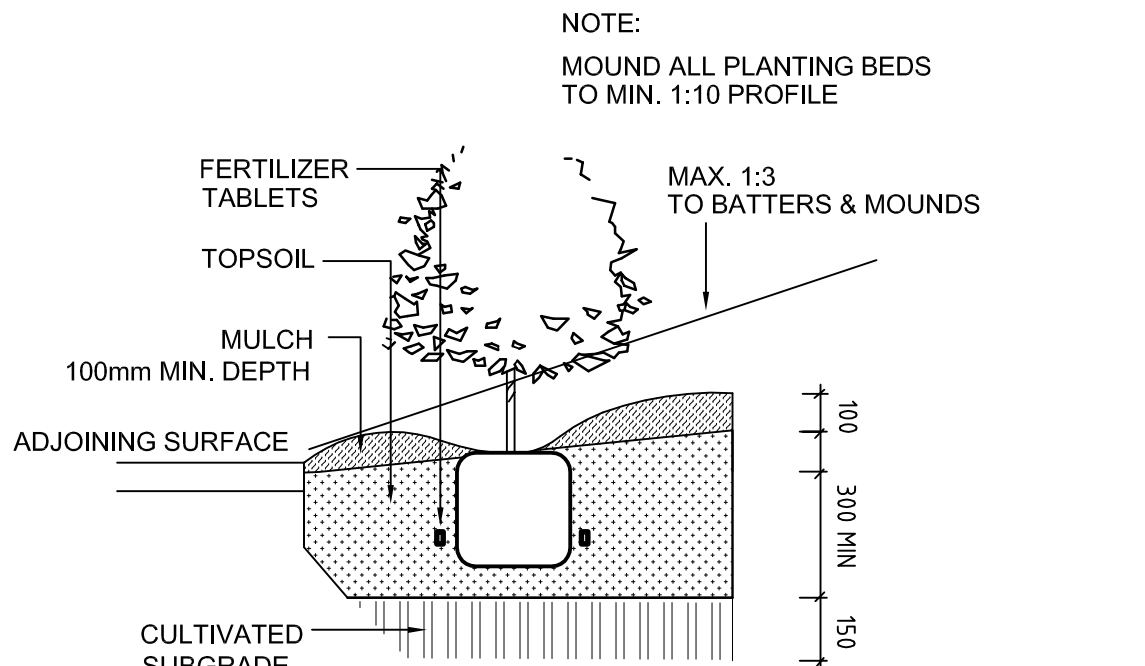
ASSOCIATED WORKS:
Refer to Civil, Structural, Hydraulic, & Electrical Engineers' and Architect's drawings and specifications for all information shown on these plans as relating to those disciplines. Engineering and Architectural works information shown herein is indicative only and is not for the purpose of construction or certification.

WATER RESTRICTIONS:
All watering of landscape works must comply with level of restrictions set down by both State and Local Government at the time of planting and maintenance

MAINTENANCE:
Allow for a minimum 26 week softworks establishment period with a six month maintenance period and a 1 year hardworks defects period to be included in the landscape contract. Industry accepted horticultural and maintenance practices and codes are to be used during these periods.



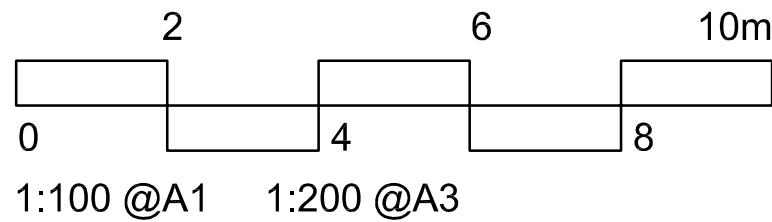
05 TYPICAL SECTION
PLANTING : TREES 1:20



04 TYPICAL SECTION
PLANTING IN-GROUND 1:20

PLANT SCHEDULE

| TREES | | MIN. POT | MIN. H/W | QTY. |
|--------------|-----------------------------|----------|----------|------|
| SYZ FLO | Syzygium floribundum | 100L | 2000 | 2 |
| XAN CHR | Xanthostemon chrysanthus | 100L | 2000 | 3 |
| SHRUBS | | | | |
| MIC FIG | Michelia figo | 200mm | 500 | 8 |
| NAN DOM | Nandina domestica | 300mm | 1200 | 16 |
| PHI XAN | Philodendron 'Xanadu' | 200mm | 300 | 18 |
| PHO RED | Photinia x glabra 'Rubens' | 200mm | 300 | 15 |
| SYZ CAS | Syzygium 'Cascade' | 200mm | 700 | 33 |
| SYZ LIT | Syzygium 'Little Gem' | 200mm | 450 | 40 |
| SYZ HIN | Syzygium 'Hinterland Gold' | 200mm | 800 | 27 |
| SYZ PIN | Syzygium 'Pinnacle' | 300mm | 800 | 6 |
| VIB EME | Viburnum 'Emerald Lustre' | 300mm | 800 | 6 |
| GROUNDCOVERS | | | | |
| EVO PIL | Evolvulus pilulosus | 140mm | 250 | 55 |
| HYM LIT | Hymenocallis littoralis | 140mm | 250 | 25 |
| LIR EVE | Liriope 'Evergreen Giant' | 140mm | 200 | 90 |
| LOM LON | Lomandra longifolia | 140mm | 200 | 12 |
| NAN NAN | Nandina domestica 'Nana' | 140mm | 150 | 75 |
| POA ESK | Poa labillardieri 'Eskdale' | 140mm | 150 | 295 |



Scenetics

LANDSCAPE PLANNERS
& CONSULTANTS

ABN 16 007 233 693

Mobile: 0448 463 510

Office: (07) 5539 1048

PO Box 5761 GCMC Qld 9726

email: john@scenetics.com.au

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A Original Issue 15.04.2015

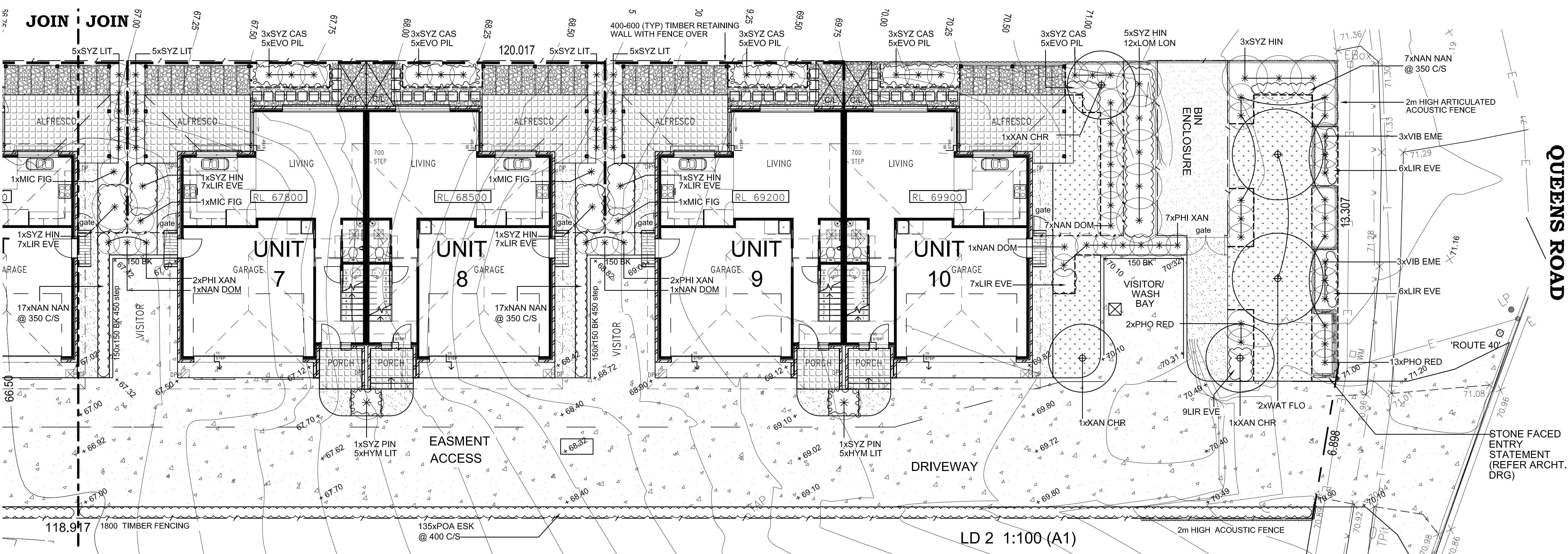
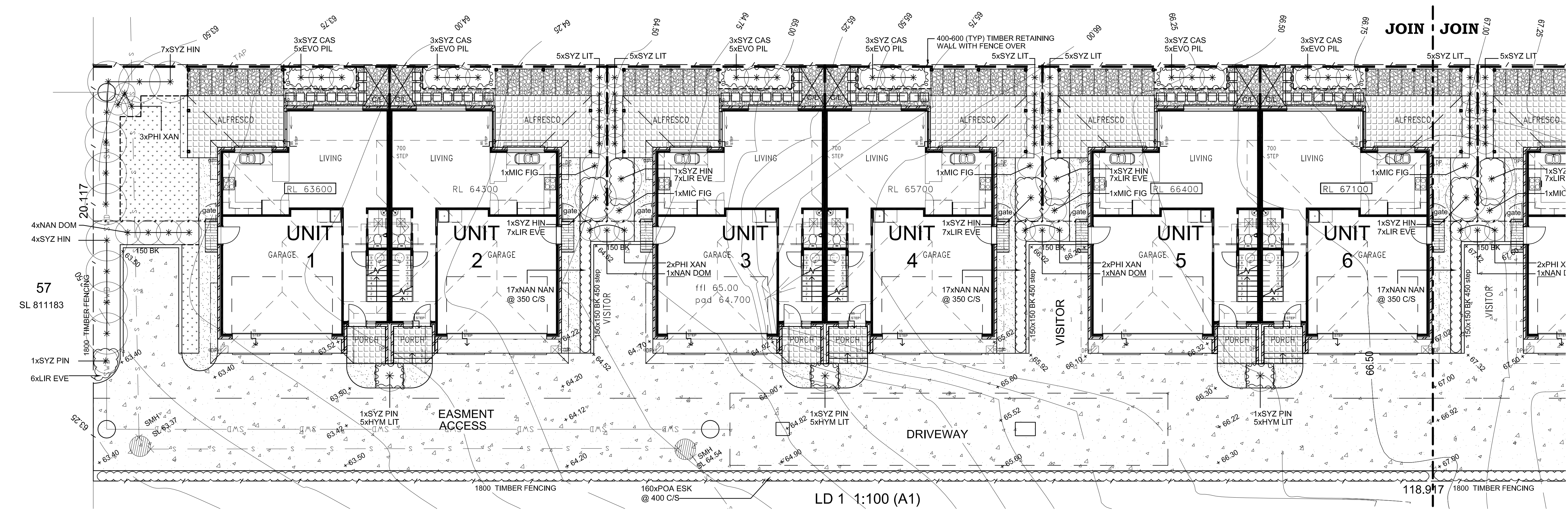
TITLE
LANDSCAPE

PROJECT
TOWNHOUSE
DEVELOPMENT

89 QUEENS ROAD
EVERTON

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| SCALE 1:100 (A1) | DATE APR 2015 | DESIGN TD | DRAWN TD |
| PROJECT No 1504011449 | DRAWING No LS - 1 | ISSUE A | |

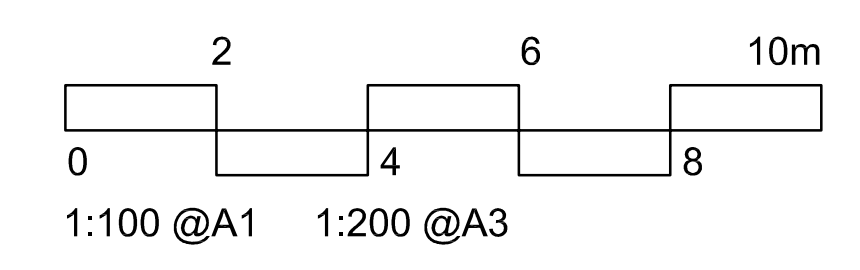
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LEGEND

- MULCHED PLANTING BEDS
- TURF
- GARDEN EDGE
- SELECTED PEBBLE
- SELECTED CONCRETE FINISH
- SELECTED TILES/CONC FINISH - REFER ARCHT.
- 1800 HIGH TIMBER PALING FENCE
- TIMBER RETAINING WALLS WITH FENCE OVER
- 1500 HIGH TIMBER PALING FENCE
- 2000 HIGH TIMBER ACOUSTIC FENCE

REFR SHEET 1 FOR
PLANT SCHEDULE,
NOTES AND DETAILS



Scenetics

**LANDSCAPE PLANNERS
& CONSULTANTS**

ABN 16 007 233 693

Mobile: 0448 463 510
Office: (07) 5539 1048
PO Box 5761 GCMC Qld 9726
email: john@scenetics.com.au

REVISION:
A Original Issue 13.04.2015

TITLE

LANDSCAPE

PROJECT

**TOWNHOUSE
DEVELOPMENT**

**89 QUEENS ROAD
EVERTON**

| | | | |
|------------|------------|--------|-------|
| SCALE | DATE | DESIGN | DRAWN |
| 1:100 (A1) | APR 2015 | TD | TD |
| PROJECT No | DRAWING No | ISSUE | |
| 1504011449 | LS -2 | A | |

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